

NEWLAND NORTHWEST
DEVELOPMENT COMPANY

EAGLE RIDGE

**ARCHITECTURAL
DESIGN AND
CONSTRUCTION
GUIDELINES
SEPTEMBER 15, 2014**

TABLE OF CONTENTS

INTRODUCTION	3
PROCESS OF APPROVAL & HOUSE CONSTRUCTION	4
- Preliminary Approval	
- Site Check	
- Lot Purchase	
- Final Approval	
- Grade Slip	
- Building Permit	
- Footing Check	
- Final Lot Inspection	
SPECIAL LOTS	5
- Ridge Lots	
- Parkside Lots	
- Corner Lots / Exposed Lots	
HOUSE SITING	6
- Minimum Setbacks	
GRADES	7
- Maximum Slopes	
HOUSE DESIGN	9
- Minimum Sizes	
- Garages / Driveways	
- Roof Pitches & Types	
EXTERIOR MATERIALS	11
EXTERIOR COLORS	12
CONSTRUCTION GUIDELINES	12
- Lot Corner Pins	
- Utilities	
- Excavation Dirt and Construction Waste	
- Weed & Dust Control	
- Construction Water	
- Lane Grades	
- Damages	
- Fencing	
- Trees	
- Hillside Lot Landscaping	
- Sidewalks	
- Accessories	
- Architectural Review Committee	
- Liability	
CONSULTANTS	15
- Architectural	
- Engineering	

ARCHITECTURAL GUIDELINES

INTRODUCTION

The overall success of a community is achieved in part by how well houses and groups of houses relate to each other. While homes may have distinct features, they must be considerate of adjacent homes with respect to height, form, exterior finish and colors. This is managed by administering a thoughtful level of architectural design guidelines on all houses throughout the community.

The objectives of the Newland Communities Architectural Design and Construction Guidelines are to:

- Provide a pleasant and consistent environment throughout Newland communities.
- Provide interest and variety to exterior elevations, materials and colors while avoiding repetition or extreme contrasts on all housing.
- Achieve a sense of openness while properly using available lot widths.
- Provide appropriate orientation of residences to promote safety, security, and a sense of community.

The following are general guidelines for Eagle Ridge. Special design requirements for individual areas are contained in the matrix following the general guidelines.

The guidelines will be applied on a first come first serve basis. The Architectural Consultant is permitted flexibility to approve or disapprove house plans, which by their nature and design may or may not comply with the guidelines. Newland reserves the right, at its sole discretion, to waive any part of the design guidelines when Newland deems such an action is in the best interest of Eagle Ridge or Newland.

PROCESS OF APPROVAL AND HOUSE CONSTRUCTION

- **Review** all lot information, marketing material and the Architectural Design and Construction Guidelines provided by Newland prior to choosing a lot.

 - **Preliminary Approval** - the Purchaser submits the following to the Architectural Control Committee for preliminary approval:
 - floor plan sketches showing all exterior dimensions
 - front elevation and side elevation if a corner lot
 - materials and colors if preference is already known
 - site plan at a scale of 1"=20'The house type, color, position, both vertically and horizontally, and siting will be reviewed to ensure compatibility with adjacent homes and adherence to these guidelines.
This information will be reviewed and returned with siting information, any comments or revisions if necessary and a final approval form.

 - **Site Check** - the Purchaser is responsible for checking the recorded plat, the site, marketing map and title documents to the land for locations of:
 - light standards
 - fire hydrants
 - catch basins
 - dedicated common areas
 - covenants, conditions and restrictions
 - bus zones
 - utility right of ways or easements for drainage
 - transformer boxes
 - driveway locationsor other items which may affect the house siting or driveway and report any problem situations to the Architectural Consultant.

 - **Lot Purchase** - the Purchaser reviews the preliminary approval information, checks the site and then contacts Newland to complete the purchase of the lot.

 - **Final Approval** - the Purchaser submits the following to the Architectural Review Committee for final approval:
 - 2 sets of 1/4" scale professionally drawn working drawings including;
 - Floor Plans
 - Foundation Plans
 - Drainage Plans
 - Cross Sections - complete with all dimensions from subfloors to footings and subfloors to front and rear grades
 - Four Elevations - complete with all exterior materials clearly noted and detailed
 - Plot Plan - drawn at 1:20 scale
 - Final Approval Form - completed with materials and colorsUpon completion of a favorable review, the Architectural Review Committee will sign the Approval Form allowing the purchaser to submit for a building permit.
The review will be completed in a timely manner, usually within five (2) working days of the submission of a complete application.
- NOTE: the Purchaser is responsible for checking the approved plans, plot plans and final approval form prior to proceeding with construction.
The Purchaser shall not apply for a building permit until the Sales Agreement for the lot has been fully executed, the sale has closed and the Architectural Control Deposit has been received by Newland.
- **Building Permit** - the Purchaser acquires a building permit from the City of Spokane.

- **Security Deposit**- the Security Deposit is due in the offices of Newland at closing and prior to Purchaser applying for a building permit from the City of Spokane.
- **Footing Check** - the Purchaser excavates the basement and forms all footings. Prior to pouring the footings the Purchaser may choose to contact the Engineering Consultant (see page 12) to have the footing forms checked.
- **Final Lot Inspection** - following total completion of the exterior of the house and loaming of the lot to grade, a Final Lot Inspection (FLI) and an Architectural Inspection can be requested for all improvements by contacting Newland at 443-8108.

SPECIAL LOTS

Parkside lots, ridge lots, corner lots and generally those lots exposed to public view on more than just the front elevation are considered special lots. These lots offer special privileges and benefits as well as requiring special treatment.

The special treatments that will apply to these lots are as follows:

Ridge Lots

- The exterior appearance of the lots from the rear is as important as from the front. Along with the submission for architectural approval, the purchaser must indicate all fencing, decks, retaining walls, patios, grades and landscaping.

Narrow Ridge Lots

Narrow Ridge Lot homes will be allowed on lots where the street frontage is less than 50 feet and the site slopes from street to rear of lot provided that the street elevation contains a mixture of design materials to enhance the appearance of the street elevation and as pre-approved by the Architectural Review Committee. Additional landscaping shall also be required in the front yard.



DETAILED REAR ELEVATION

Parkside Lots

- In order to protect the appearance and openness of all parks, school sites and other open space a Restrictive Covenant is registered on each lot to insure that proper development approvals are obtained and to prohibit and/or limit rear yard development. Purchasers should be familiar with the contents of this document.

View Corridor Lots

- In order to protect the appearance of the primary entrance corridors of the development additional design consideration shall be given to those portions of the house and lot design that are exposed to the view corridor. The view corridor is defined as any part of the house, decks, gazebos, landscaping features, accessory buildings to include storage sheds, animal containment structures, pools and hot tubs that are visible from the primary entrance corridors (see View Corridor Map attached for these designations). Proposed structures and/or improvements that are visible from the View Corridor shall be submitted to the Design Review Committee for approval prior to construction. The design standards used for structures exposed to the View Corridor shall be the same as those used for the front of the house. Design submittal shall be required for any proposed structure including but not limited to the house structure, fencing, decks, gazebos, hot tubs, pools, storage sheds and landscaping structures.

The reasons for this extra level of control on all of the above types of lots are:

- The rear yard and elevation of these homes are exposed to the public in the same fashion as a front yard and elevation are to the street on a regular home.
- Homeowners have a high level of concern relating to the protection of the peripheral views, which can be adversely affected with improper fencing or planting.
- Uniformity is required in terms of fencing and certain aspects of rear yard development.
- Retaining walls, walk-out basements, and decks must be done in a professional and well-planned manner.
- Landscaping and rear yard development must be completed as soon as possible to avoid soils, debris and pollutants from blowing or washing onto the public lands and/or into the lake.

Corner Lots/Exposed Lots

- ALL LOTS exposed in any way to streets, parks or walkways are to have increased detailing on the exposed elevations to match the detailing on the front elevation.
CORNER LOTS require a low profile element (i.e. single storey, covered porches, side slope roofs) along the flanking side of the lot.

HOUSE SITING

The building footprint should not over power or under use the lot. Front setbacks are varied throughout all communities to achieve an interesting street-scape. Minimum setbacks measured from the property lines are:

- | | | |
|--------|---|-----------|
| Front: | - To face of house/garage structure | - 20 feet |
| Side: | - To side face of house/garage structure | - 5 feet |
| | - Corner Lot (Street side) | - 15 feet |
| Rear: | - Regular Lots - to house/garage structure | - 20 feet |
| | Accessory structure - Five feet from side and rear yard | - 5 feet |
| Height | - Multi-family - 2-1/2 stories or 35 feet | |

No deck with a floor elevation higher than 24 inches above the highest finished grade elevation, shall extend into the side or rear yard setbacks. Decks lower than 24 inches above the highest finished grade elevation shall not be restricted by side or rear yard setbacks.

Front porch setback in 9th, 10th, 11th, and 12th Additions

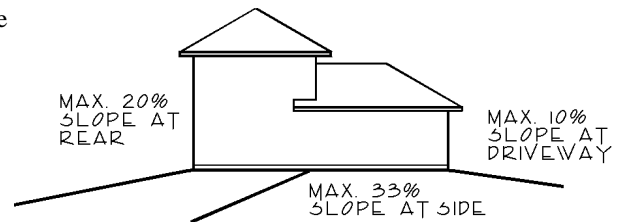
For residences that include a front porch the front yard setback may be reduced to 15 feet measured from the front side of the porch support columns to the front property line or backside of street sidewalk. To qualify as a “porch” the structure of the porch must measure horizontally a minimum of 5 feet from the front face of the entry door to the street side of the porch support columns and include a roof extension that matches the roof for the residence. The front yard setback to the body of the house/garage shall be 20 feet.

GRADES

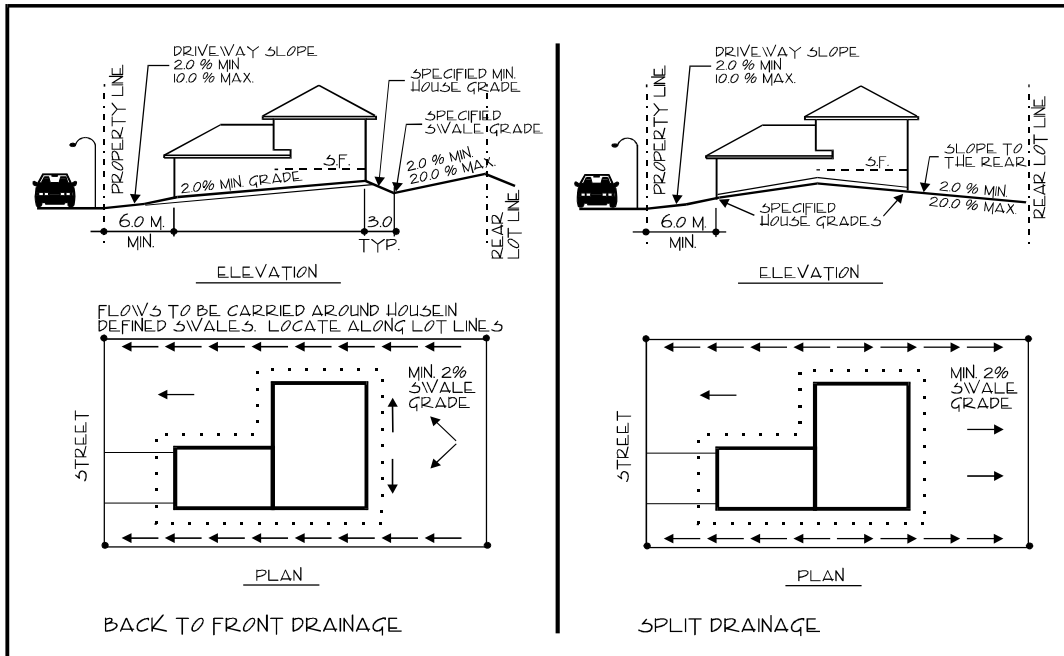
In order to take advantage of the natural land form and avoid the excessive use of retaining walls, the Purchaser should give particular attention to lot grading prior to choosing a house design. Front elevations are to be as low profile as practical.

Maximum Slopes

Driveway	- 16.0 %
Front & Rear Yards	- 20.0 % (1:5)
Sideyards	- 33.0 % (1:3)



- Where the requirement for steeper slopes exists, an appropriate house design must be submitted to comply with these maximum slope requirements.
- In the case of side and rear yards where retaining walls are required the Purchaser on the lower elevation will normally be responsible for the cost and construction of the retaining wall unless the design of the house on the higher lot (in the opinion of the Architectural Review Committee) creates the need for a retaining wall. When retaining walls are required adjacent to fixed grade situations such as lanes, walkways, parks, or roads the Purchaser will be responsible for the cost and construction of the retaining walls.
- If a retaining wall is required, the Purchaser must construct the retaining wall to Newland's satisfaction, prior to obtaining the Security Deposit refund.
- Prior to landscaping, the grades must provide drainage away from the house in accordance with the design grades for the lot and be approved by the Engineering Consultant through the Final Lot Inspection (FLI) procedure.
- Retaining walls are to be built of stone, river rock, slate, textured concrete (texture to be prior approved), Keystone blocks or equal.
- Driveways are to have a slope of 5% for a minimum distance of 10 feet from the front of the garage door to the street. In instances where this is not achievable a proposal shall be submitted to the Architectural Review Committee delineating an alternative design.



TYPICAL DRAINAGE PATTERNS

DRAINAGE

Each parcel is required to contain its drainage on-site. Some blocks within the development have drainage systems installed that the builder can connect to in-lieu of on-site containment. The builder shall coordinate individual site drainage connections to available drainage systems prior to the start of construction with the Architectural Review Committee as part of the design review process. Each site shall have a drainage plan approved by the Architectural Review Committee prior to the start of construction. The Drainage Plan shall include the main level finish floor elevation and the projected finish grade elevations at the house corners and lot corners.

HOUSE DESIGN

Exterior design should exhibit interest in features and materials and should consider rooflines, entry treatment, window treatment and decorative treatments. A good variety of exterior design along the streetscape will be required. Houses with similar exterior design will be avoided in close proximity to one another.

Square Footage Requirements

The following are minimum house square footage requirements. House design should maximize the use of the width of the lot. The following guidelines should be followed unless an alternative plan is approved by the Architectural Review Committee: Refer to Guideline Matrix for required square footage.

Lot Code	Bungalows/ Daylight Rancher Bi-levels (1 level)		Multi-Levels (4 levels) Two Story (2 levels)		Special Reqmts
	Min	Max	Min	Max	
SF-1	900	1300	1300	1600	
SF-2	1100	1500	1500	1800	
SF-2A	1200	1800	1400	2200	
SF-3	1300	1700	1700	2000	
SF-3.5	1400	2000	1700	2000	
SF-4	1500	2000	1900	2200	
SF-5	1800	2200+	2100	2400+	
SF-6	1600	2500+	2100	3000+	2

Special Requirements

1. Double front drive garage required.
2. Triple front drive garage required.
3. Composition shingles, wood shakes or concrete roof tiles required.

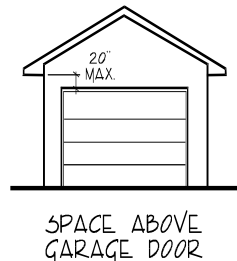
- Although the lot codes are a good indication of house size, the Architectural Review Committee is allowed discretion to approve or reject homes which may or may not meet the minimum size requirements based on utilization of the lot and massing of the home.

- Areas of square footages specified for split-levels are for finished floor area of 3 levels above grade. Where the 3rd level is below grade, refer to bungalow/bi-level requirements.

- Garage / Driveways

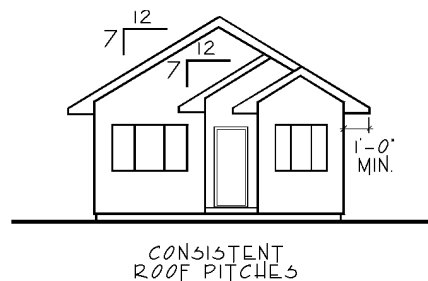
- Front drive double car garages are required on all lots except as specifically noted or otherwise approved by the Architectural Review Committee.

- Front driveways require expansion felt between the back of curb (or sidewalk) and the driveway.
- Driveways should be constructed to meet the finished design elevation of the street. Avoid constructing to a settlement that will be repaired.
- Space above garage doors at the greatest distance shall not exceed 20 inches to the underside of the soffit or false soffit. On garages with gable ends an accent band and/or change in material, texture or pattern shall occur at a height not greater than 20 inches above the top of the garage doors and extend to the bottom of the soffit or roof eaves.
- Front elevations of garages shall be designed so that they provide variety between adjacent lots.
- Driveway aprons and curb cuts shall be constructed to Spokane City standards.



- Roof Pitches & Roof Types

- Minimum roof pitches & roof types may be required in some areas.
- Roof pitches & roof types on any one elevation are to be compatible.
- Roof overhangs are to be minimum 1'-0", including over bay windows, etc.
- Special Roofing materials are required on some lots.
- Roofing materials to be shake, tile or textured composition shingle. "Textured" shall be defined as a raised pattern in the profile of the shingle or a variation in the color so as to present a roof surface of interest and distinction.
- All roof colors and styles must be approved.
- Minimum roof pitch, unless otherwise designated, shall be 4:12.



Roof Code	Description
R-1	- Minimum roof pitch shall be no less than 7:12 on rancher/bungalow and 5:12 on splits and 2 story houses - Roofing materials to be shake, tile or composition shingle. Composition shingles shall have a minimum 20 Year Warranty.
R-2	- Minimum roof pitch shall be no less than 7:12 on rancher/bungalow and 5:12 on splits and 2 story houses - Roofing materials to be shake, tile or composition shingle. All roofing to be used on these streets shall have a minimum of 25 Year warranty.
R-3	- Minimum roof pitch shall be no less than 7:12 on rancher/bungalow and 5:12 on splits and 2 story houses - Roofing materials to be shake, tile or "Textured" composition shingle. "Textured" shall be defined as a raised pattern in the profile of the shingle or a variation in the color as to present a roof surface of interest and distinction. All roofing to be used on these streets shall have a minimum of 25 Year warranty. Roofing in Phase 4 shall have uniform color.

- R-4 - Minimum roof pitch shall be no less than 7:12 on rancher/bungalow and 5:12 on splits and 2 story houses.
 - Roofing materials to be shake, tile or "Sculpted" composition shingle. "Sculpted" shall be defined as a raised pattern in the profile of the shingle so as to present a roof surface of interest and distinction. All roofing to be used on these streets shall have a minimum of 25 Year warranty.
- R-5 - Minimum roof pitch shall be no less than 7:12 on rancher/bungalow and 5:12 on splits and 2 story houses.
 - Roofing materials to be fiberglass, clay or concrete tile or slate. All roofing to be used on these streets shall have a minimum of 40 Year warranty.

EXTERIOR MATERIALS

- A variety of exterior materials are preferred in Newland communities. Materials are to be suitable to the exterior styling of the home. The focus will be on significant and appropriate detailing.

- Acceptable materials are as follows:

- Stucco or E.I.F.S. type material.
- Siding - vinyl, hardboard, Hardy plank or equal, or cedar.
- Masonry - An exterior material requirement of "Masonry" includes any house finished with brick, stone or an approved manufactured masonry product on a substantial amount of the front elevation and any exposed sides of the garage and house. In areas where the "Masonry" requirement does not exist it is encouraged that masonry elements are incorporated into the design of the street elevation. Masonry details are required on the rear elevation of houses where the rear is exposed to parks, or any public green areas. The remainder of the exterior of these homes will then be permitted to be finished with any one of the other acceptable exterior materials for that area.
- Parging on all elevations exposed to the public will be kept to a maximum of 18". Parging on elevations not exposed to the public will be kept to a maximum of 30".
- Pre-finished materials may be used providing the finished color is compatible with the remainder of the house.
- Consistent materials are required on all four elevations.
- T1-11 siding is not allowed except on those lots identified in the Guideline Matrix.
- The basic exterior finish used on the front elevation of the house (i.e., stucco, siding or combinations) must be continuous on all elevations of the house.
- Accent finishes (i.e., brick, stucco) used on the front elevation must be wrapped around the corners of the house. Distance of the wrap is to be 18" minimum.
- Exterior finish of fireplace chimneys must be approved and shall be similar to the predominant material or "accent" material.
- Trim boards shall be wrapped around the front corners of the house a minimum of 4" or provide corner boards.
- The garage doors and the front doors must be painted.
- Cedar siding shall be stained with a solid wood stain using a product that provides a minimum 5-year warranty. Semi-transparent stains will be considered on a submittal basis and is not a pre-approved process. To acquire approval the builder must provide at a minimum of a 5 year manufacturer's warranty, application by a qualified installer in accordance with manufacturer's instructions and a copy of the warranty must be provided to the Architectural Review Committee upon completion of the work. Cedar siding must be clear, select grade bevelled siding product.

Exterior Finish Code	Description
X-1 Plank	- Pre-finished wood panel with board & batten, pre-finished wood siding, wood, vinyl or Hardie type siding.
X-2	- Pre-finished wood siding, wood, vinyl or Hardie Plank type siding.
X-3	- Masonry, stone, E.I.F.S., stucco in conjunction with wood, vinyl or Hardie Plank type siding.
X-4	- Masonry, stone, E.I.F.S., stucco in conjunction with wood, vinyl or Hardie Plank type siding or a blended siding treatment required on street facing facades. Gable façade treatment must use different material than adjacent wall surfaces.
X-5	- Horizontal lap siding on front elevation. Pre-finished wood, vinyl or Hardie Plank type siding or T1-11 panel siding on side and rear elevations not visible to View Corridor streets. Front elevations must comply with pre-approved design standard for the phase of development.
X-6	- Horizontal lap siding of wood, vinyl or Hardie Plank type siding on front elevation in conjunction with a masonry or stone wainscot treatment adjacent to garage doors. Gable façade treatment must use different material than adjacent wall surfaces. Side and rear elevations shall be pre-finished wood, vinyl, or Hardie Plank type material. The Smart Panel product is allowed on side and rear elevations not visible from streets in the Eagle Ridge development.

EXTERIOR COLORS

- A good variety of colors will be encouraged.
- Similar color schemes on adjacent homes will be avoided.
- Bold accents will be permitted on appropriate house types and treatments.
- Pre-finished material colors are to be compatible with the remainder of the house colors.

CONSTRUCTION GUIDELINES

The following information should be read thoroughly before proceeding with construction. This will give you a better understanding of the subdivision and how problems can be avoided or overcome.

Lot Corner Pins

- The Purchaser is responsible for maintaining the lot corner pins.

Utilities

- Prior to any excavation, the Purchaser is responsible to contact Spokane Department of Public Works, Qwest, AT&T Cable, and Avista Corporation to locate existing utilities.
- The City of Spokane regulates the construction of permanent structures such as garages, sidewalks, patios, etc. over any utility lines, so basic planning of all structures must take this into consideration.
- The Purchaser is responsible for damage to curb boxes, water valves, hydrants and shallow utility boxes.
- Curb boxes should be located, clearly marked, and tested one week before the residents move in to avoid delay in case of damaged, leaking or frozen lines.

Excavation Dirt and Construction Waste

- Excess excavation dirt must be disposed of only on sites designated by Newland.
- Construction waste is to be disposed of at a legally designated dump/landfill site.

- Excavation dirt left on site must be kept within the confines of the lot.
- The Purchaser must control waste material and litter on the lot. Waste bins are required for collection of waste construction materials.
- Excavation or construction dirt deposited on street surfaces must be properly removed.

Weed and Dust Control

- The Purchaser is required to keep the lot free of noxious weeds and to control dust.

Construction Water

- Hydrants cannot be used for water supply in the subdivision. Application must be made to the City of Spokane for permits to obtain construction water and the municipality will advise where the water can be obtained.

Damages to Utilities & Surface Improvements

- The Purchaser is responsible to inspect the lot to determine the condition of all utilities and surface improvements prior to building. If any are damaged before the Purchaser has possession of the lot, he must inform Newland, in writing, within 14 calendar days of the date of the lot purchase agreement, otherwise it is assumed there are no damages to the utilities and surface improvements.
- Cost of repair due to contractor damage to any underground or surface utilities, concrete drainage swale, fencing, sidewalks, curbs, gutters, trees, street lighting, electrical transformers, etc. will be charged by Newland to the Purchaser.

Fencing

- If the Purchaser intends to build any side-yard or rear-yard fencing on the lot in conjunction with the house construction, Purchaser must submit a plan of the proposed fence design to the Architectural Review Committee for approval prior to fence construction. Refer to “ Interior Lot - Side and Rear Yard Fence Detail “ for installation guideline.
- No fencing will be permitted on corner lot street exposures without prior approval of the Architectural Review Committee.
- Any fences constructed adjacent to open space in Phases 1 or 2 must use dark green vinyl coated chain link. Any fences constructed adjacent to open space in Phases 3 and 4 shall use the standard cedar/redwood fencing, brown vinyl fencing. Or fencing as approved by the Architectural Control Committee.
- No fencing is to extend past the front of the house, except for “Model Home Fencing ” and fencing designed to identify open space access points, corridors and pathways.
- “Model Home Fencing ” shall be permitted on those homes designated by the Builder and Newland as “Model Homes”. “Model Home Fencing” shall be permitted during that period of time that the Builder and Newland have designated the home to be used as a “Model Home”. At the end of said period the “Model Home Fencing” shall be removed and all evidence of the fencing shall be removed. The “Model Home Fencing” shall be 36” high white vinyl pickets to be located along the front sidewalk and adjacent driveway apron. While “Model Home Fencing” is a temporary treatment it shall be installed in a manner as to insure a plumb and stable condition. No gates shall be permitted. Each individual picket shall have a sculpted/decorative top treatment. The Model Home Fencing style shall be submitted to the Architectural Review Committee for approval prior to installation.
- Fencing Category “FP” Sight obscuring or Privacy fencing shall be allowed on interior side and rear yards not facing on any greenbelt, open space or path-way. No sight-obscuring or privacy fencing shall be permitted on corner lots within the setback area unless specifically approved otherwise. Maximum height for fencing shall be 6’ except support posts which can extend to 6’-6”, not including cap. Maximum spacing between support post shall not exceed 8’. Support post shall be buried a minimum of 2’ below finished grade and installed and maintained as true and plumb. In unstable soil and fill the support post shall be buried in a 10 inch diameter concrete base 2’ deep. All wood privacy fencing to be cedar or redwood, Number 1 or better, tight knot and no hole, with natural cedar stain. All wood privacy fencing to have

minimum of three (3) rails, top, bottom and mid-rail. All sight obscuring and privacy fencing proposals to be submitted to the Architectural Review Committee prior to installation. Vinyl fencing material may be considered provided that all property owners fronting onto the fencing have agreed in writing to the style and design prior to submittal to the Architectural Review Committee. White vinyl fencing will not be considered as an approved color.

- Fencing Category “FV” Sight Obscuring or Privacy fencing may include all types of fencing allowed in category FP plus wood-grain simulated vinyl fencing in the cedar or redwood finish.
- Fencing Category “FX” Sight Obscuring or Privacy fencing may include all types of fencing allowed in category FP plus other fencing of a permanent, no or low maintenance material such as Stone, wrought iron, or other similar material subject to the Architectural Review Committee approval.
- Any fences constructed adjacent to open space in 9th, 10th, 11th and 12th Additions must use black vinyl coated chain link or fencing as approved by the Architectural Control Committee.

Trees

- The Architectural Review Committee must approve the removal of any trees over a 5-inch calliper. Newland Land Company Northwest, at their sole discretion, retains the right to trees that are 5-inch in calliper or larger should they be required to be removed.
- Street tree minimum - 3 inch calliper tree(s) must be planted 30 feet on center by the builder upon the completion of the house construction.
- Contractor to refer to street tree plan for location of tree planting strips.

Hillside Rear Yard Landscaping

Lots located on ridges or hillsides where the facing slopes are visible from the view corridors shall be landscaped within 6 months of the completion or initial occupancy of the residence. Landscaping design and treatments shall provide for lot drainage control and containment, slope stabilization, erosion control through the use of retaining walls (segmental or natural rock formations) vegetation plantings and slope design. Vegetation shall be limited to a maximum of 30% of the land area for indigenes plant materials arranged into organized groupings that allow for maintenance and pruning where required. The hillside landscaping design shall include the installation of an irrigation system to insure appropriate vegetation growth and development, slope stabilization, erosion control and aesthetic presentation to the view corridor(s).

Lots located on ridges or hillsides where the slope faces a natural area shall be landscaped within 6 months of the completion or initial occupancy of the residence. Landscaping design and treatments shall provide for lot drainage control and containment, slope stabilization, erosion control through the use of retaining walls (segmental or natural rock formations) vegetation plantings and slope design. Vegetation shall be limited to a maximum of 50% of the land area for indigenes plant materials arranged to allow for maintenance and pruning where required. The hillside landscaping design shall include the installation of an irrigation system to insure appropriate vegetation growth and development, slope stabilization and erosion control. For a list of indigenes plant material refer to the following internet link under “Waterwise Landscaping” or “Sustainable Landscaping” categories.

Link: www.spokane-county.wsu.edu./spokane/eastside/index.htm

Sidewalks

- The purchaser is responsible for the installation of curb drops adjacent to the purchased property. The curb drop will be installed to the City of Spokane standards.

Accessories

- Newspaper delivery boxes may be attached to the residence immediately adjacent to the front door at a wall elevation no greater than 42” above finished grade. No other exterior delivery containers shall be permitted to be attached to the residence or located in the front or side yards unless approved in writing by the Architectural Review Committee.

Architectural Review Committee

- The Architectural Review Committee shall have the sole right and authority to waive or enforce any of the provisions of the design guidelines.

Liability

- Neither Newland Communities, the Architectural Review Committee, nor any member thereof shall be liable to anyone submitting plans to them for approval, to any owner or occupant by reason of mistake in judgement, negligence, or disapproval or failure to approve plans.

CONSULTANTS

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